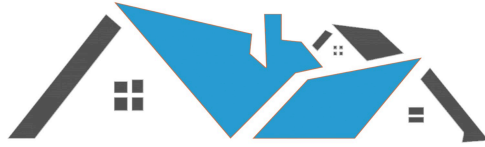


Inspection Report

Provided by:



KYLE'S *Home
Inspections*

Kyle's Home Inspections

Inspector: Kyle Salony

Certified & Insured

NACHI23041008

ICA Certification # 31527

Cell Number - (760) 881-7036

Website - kyleshomeinspections.com

Property Address

1234 Sample Ave Murrieta ca 92563



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Report Information

Client Information

Client Name	John Doe
Client Phone	951-000-0000

Property Information

Approximate Year Built	2004
Approximate Square Footage	3,000
Number of Bedroom	5.
Number of Bath	3.

Inspection Information

Inspection Date	01-18-25
Inspection Time	10:30am
Weather Conditions	Clear
Outside Temperature	60
Price for Inspection	\$499

4. **Scope of Inspection.** The scope of the inspection is strictly limited as set forth in this Agreement. The parties understand and agree that this inspection will be of readily accessible areas of the building and is limited to visual observations of apparent conditions existing at the time of the inspection only. Latent and concealed defects and deficiencies, including but not limited to, basement flooding, basement seepage and roof leakage, are excluded from this inspection. The parties agree that the American Society of Home Inspectorsâ (ASHIâ) Standards of Practice, most current edition, shall define the standard of duty and the conditions, limitations, and exclusions of the inspection and are incorporated by reference herein. Copies of these standards are available upon request.

5. **Items Not Inspected.** The inspection and report exclude and do not cover those items indicated as "untested" or "not inspected" or the possible presence of or danger from any potentially harmful substances and environmental hazards including, but not limited to, the following items: asbestos; lead paint; formaldehyde; toxic and flammable materials; soil contamination; water testing; termite and pest infestation; water softener and filter system; sprinkler systems; central vacuum systems; telephone systems; intercom systems; security systems; antennas; cable television; doorbells; appliances; playground equipment; swimming pools and pool equipment; spas; energy efficiency measurements; recreational equipment; recreational facilities (boat docks and tennis courts); landscaping; underground storage tanks; underground drainage; irrigation; outdoor grills; low voltage exterior lighting; remote overhead door transmitters and receivers; concealed or underground electric and plumbing; systems which are shut down or otherwise secured; private sewer systems; water wells; chimney draft; heating

system accessories; solar heating systems; zoning or other ordinances; and building code conformity. All items indicated as being excluded in the ASHI Standards of Practice are also excluded herein. CLIENT understands that these systems and conditions and information about them are excluded from this Inspection and Report. Any general comments which may appear about these systems and conditions are provided as a courtesy only and DO NOT represent or form a part of the Inspection.

6. Third Party Liability. It is understood and agreed that the inspection and report are performed and prepared for the confidential and exclusive use and possession of CLIENT. No other person or entity may rely on the report issued pursuant to this agreement.

7. Limitation of Liability. It is understood and agreed that in the event of any claim whatsoever against COMPANY, its employees, inspectors, or other agents, whether based on contract, negligence or other tort, statute, or otherwise, in any way directly or indirectly resulting from or relating to the inspection, the report or performance or nonperformance of services by COMPANY, that, any liability of COMPANY, its employees, inspectors or other agents shall be solely and exclusively limited to the amount of the inspection fee actually paid by CLIENT.

8. Limitation of Actions. No action shall be maintained by CLIENT against COMPANY unless written notice, sent by certified mail return receipt requested, setting forth that an installed system or component of the Premises which was inspected by the Inspector was not in the condition reported by the Inspector, is delivered by CLIENT to COMPANY within ten (10) business days after the discovery of such defect becomes known to CLIENT. CLIENT agrees that, with the exception of emergency conditions, CLIENT or CLIENT'S agents, employees or independent contractors will make no alterations, modifications or repairs to the claimed discrepancy prior to a reinspection by the Inspector. Furthermore, any action must be commenced by CLIENT within one (1) year after the date of the Inspection or will be deemed waived and forever barred.

9. Entire Agreement. This Agreement constitutes the entire Agreement between the parties and supersedes any and all prior agreements between the parties. CLIENT agrees that any representation, promise, condition, or warranty, express or implied, not included in this Agreement shall not be binding on any party.

10. Interpretations. It is mutually understood and agreed that all provisions herein are severable and that, in the event that any of them shall be held to be invalid, any competent court may modify or reform any such provisions to make it enforceable and that the remaining provisions hereof shall nevertheless be valid and binding.

11. Assignment. The rights and obligations under this Agreement may not be assigned by any of the parties hereto without the prior written consent of the other party.

12. Attorney's Fees. The prevailing party in any dispute arising out of this Agreement, the Inspection, or Report(s) shall be awarded reasonable attorney's fees and other costs.

Definition of conditions:

AS = Appears Serviceable: The item appeared to be in working or usable condition with no major discrepancies noted.

R = Repair: The item was at or near the end of its useful lifespan. A certified professional should be contacted for further evaluation and repair.

S = Safety Issue: The item is considered a safety hazard and can cause harm to people or property. These items need to be repaired as soon as possible.

NI = Not Inspected: The item was not inspected during the inspection.

Report Summary Page

This is only a summary of the inspection report and is not a complete list of discrepancies.

Grounds

1.4 Conditions (Repair)

Backyard side fence was falling down. It is suggested that a "Licensed Fencing Contractor" be contacted for further evaluation and repair.

Exterior

2.1 Front Entrance Conditions (Repair)

Front rock features had a loose part. Recommend securing it back on.

2.3 Exterior Wall Conditions (Repair)

One small section near Backdoor had broken stucco. Recommend sealing as needed.

2.4 Window Conditions (Repair)

The seals inside the window panes are popping out on multiple windows. Backyard 2nd floor window has broken window trim. It is suggested that a "Licensed window Contractor" be contacted for further evaluation and repair.

2.6 Faucet Conditions (Repair)

Front & backyard faucet handle leaked. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

Roofing

3.1 Roof Covering Condition (Repair)

One slipped tile in front of home above garage.

3.2 Flashing Conditions (Repair)

Valleys in front of home had debris inside them. Recommend cleaning.

3.4 Attic Conditions (Repair)

2x4 was cut and damaged near entrance. One exhaust fan is slipping out and needs to be secured better to vent.

3.7 Conditions (Repair)

Front of home had gaps in the fascia boards on the corners. Splits in eaves. Recommend repairs as needed. It is suggested that a "Licensed Roofing Contractor" be contacted for further evaluation and repair.

Heating - Air

4.4 AC Unit Conditions (Repair)

The insulation on the refrigerant lines was missing or deteriorated. Recommend installing this rather inexpensive pipe insulation to improve efficiency. Pipe insulation is available at most hardware stores. Units are 20 years old and nearing the end of their lifespan.

Plumbing

6.2 Supply Line Conditions (Repair)

The visible portions of the supply lines had minor corrosion observed at the accessible areas.

6.3 Drain Line Conditions (Repair)

Upstairs master bath had flex plumbing. Recommended replacing with proper plumbing.

6.4 Water Heater Conditions (Repair)

Minor corrosion on water line. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

Living Room

7.5 Interior Window Conditions (Repair)

2 windows have seals inside that are coming out. It is suggested that a "Licensed window Contractor" be contacted for further evaluation and repair.

7.7 Electrical Conditions (Repair)

Open ground outlet near fire place. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and repair.

7.10 Fireplace Conditions (Safety)

Missing doors to fireplace and damper latch. It is suggested that a "Licensed chimney Contractor" be contacted for further evaluation and repair.

Kitchen

8.7 Electrical Conditions (Repair)

Kitchen island was off.

8.8 Lighting Conditions (Repair)

Light(s) were out or inoperative underneath the cabinets. Dismantling and testing of all light fixtures is not performed as part of this inspection. Recommend all lights be operable prior to close.

8.10 Cabinet Conditions (Repair)

The cabinets were loose. Recommend securing or repair as needed for increased safety. One cabinet was stuck and would not operate.

8.11 Sink Plumbing Conditions (Safety)

Kitchen sink was leaking and water was running down the cords and into the reciprocal underneath the sink. Unplugged dishwasher and garbage disposal. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

8.12 Garbage Disposal Condition (Not Inspected)

Not inspected due to power being off to the kitchen island.

8.13 Stove - Range Condition (Not Inspected)

Not inspected due to being unplugged.

8.15 Dishwasher Conditions (Not Inspected)

Not inspected due to power being off at kitchen island. Dishwasher was not secured in place either.

Bedroom(s)

9.5 Interior Window Conditions (Safety)

Cracked glass pane(s) were observed at upstairs. Window mechanism is sticking out and doesn't function. Recommend repair as needed.

9.6 Interior Door Conditions (Repair)

Upstairs bedroom door doesn't latch properly. It is suggested that a "Certified Handy Man" be contacted for further evaluation and repair.

Bath(s)

10.11 Sink Conditions (Repair)

Downstairs restroom had a slow drain.

10.12 Shower - Tub Conditions (Repair)

Upstairs guest shower tub diverter was leaking and not functioning properly. Upstairs master stand up shower had a leak on the windows and should be sealed. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

10.13 Toilet Conditions (Repair)

Upstairs guest bathrooms toilet continuously runs. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

Garage - Laundry

11.1 Wall Conditions (Repair)

Suspicious growth near water heater.

11.2 Ceiling Conditions (Repair)

Some of the drywall edge is coming off as well as a suspicious spot in between the garage doors on the ceiling.

11.5 Vehicle Door Conditions (Repair)

No motor for single garage door.

1 Grounds

Grading

Grading Slope

The site is slightly sloped.

1.1) Grading Conditions

AS

The visible areas of the sidewalk appeared to be in serviceable condition at the time of the inspection.





Driveways - Sidewalks - Walkways

Driveway Material Concrete.

1.2) Driveway Conditions

AS

The driveway appeared to be in serviceable condition at the time of the inspection.

Sidewalk Material Concrete.

1.3) Sidewalk Conditions

AS

The visible areas of the sidewalk appeared to be in serviceable condition at the time of the inspection.

Fencing

1.4) Conditions

R

Backyard side fence was falling down. It is suggested that a "Licensed Fencing Contractor" be contacted for further evaluation and repair.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



2 Exterior

Front - Back Entrance

Front Entrance Type

Covered Porch.

2.1) Front Entrance Conditions

R

Front rock features had a loose part. Recommend securing it back on.



Back Entrance Type

Covered Patio.

2.2) Back Entrance Conditions

AS

Appears Serviceable.



Exterior Walls

Structure Type

Wood frame.

Exterior Wall Covering

The visible and accessible areas of the exterior siding material are stucco.

2.3) Exterior Wall Conditions

R

One small section near Backdoor had broken stucco. Recommend sealing as needed.



Exterior Windows - Doors

Window Type Double Hung & Sliding.

Window Material Vinyl.

2.4) Window Conditions R

The seals inside the window panes are popping out on multiple windows. Backyard 2nd floor window has broken window trim. It is suggested that a "Licensed window Contractor" be contacted for further evaluation and repair.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



2.5) Exterior Door Conditions

AS

The door(s) appeared to be in serviceable condition at the time of the inspection.

Exterior Water Faucet(s)

Faucet Location

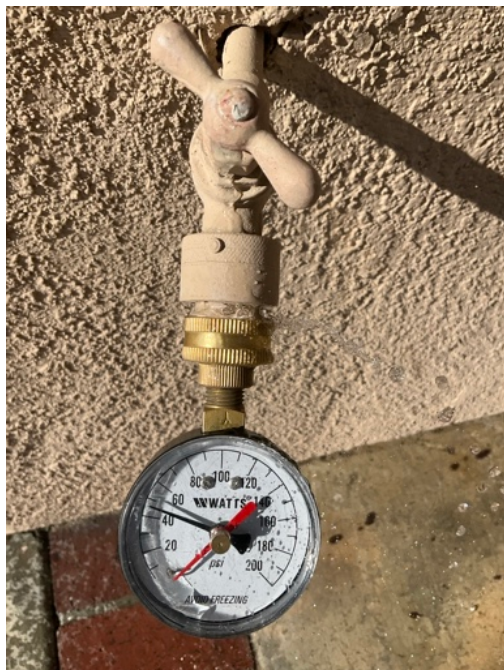
Front and backyard

2.6) Faucet Conditions

R

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

Front & backyard faucet handle leaked. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.



Chimney

2.7) Chimney Conditions

AS

The visible and accessible portions of the chimney(s) appeared to be in serviceable condition at the time of the inspection.

Soffits & Vents

2.8) Conditions

AS

Appears Serviceable.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3 Roofing

Roof Covering

Method of Inspection

Used a camera attached to an extension pole.



Roof Style

Hip & Valley

Roof Covering Material

Concrete Tile

Number of Layers

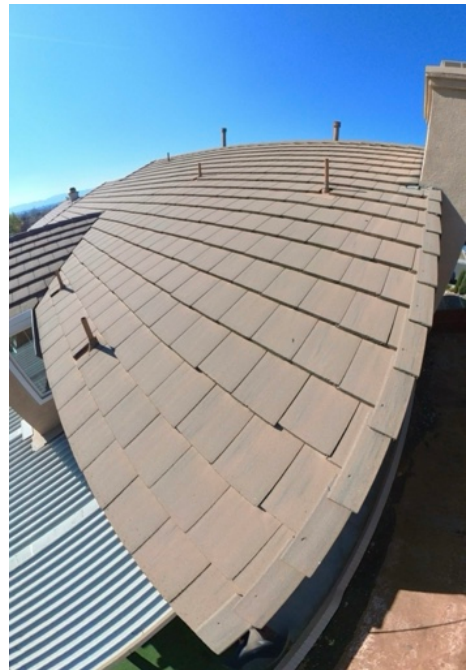
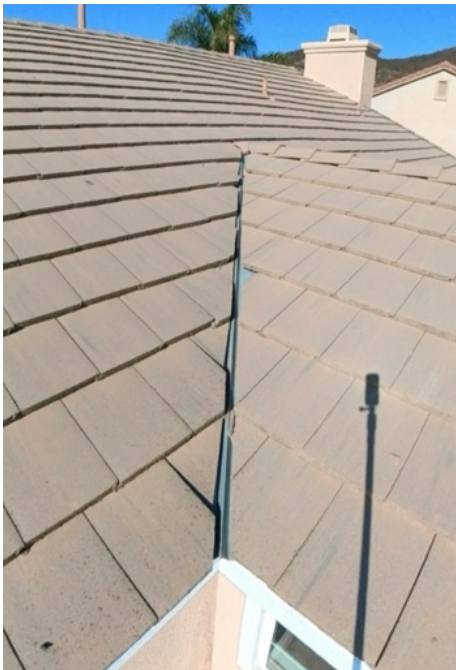
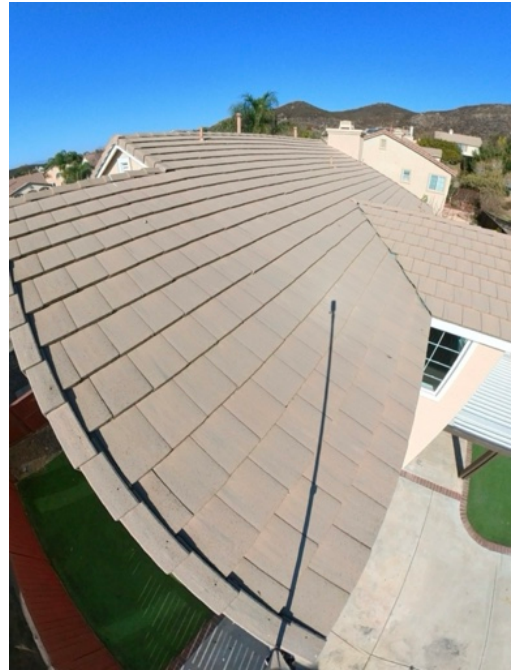
One.

3.1) Roof Covering Condition

R

One slipped tile in front of home above garage.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3.2) Flashing Conditions

R

Valleys in front of home had debris inside them. Recommend cleaning.



3.3) Gutter & Downspout Conditions AS

The gutter system appeared to be in serviceable condition at the time of the inspection.

Attic Area

Attic Access

The attic access was located at master bedroom closet

Method of Inspection

The attic was inspected by partially entering due to blocked access and / or personal item storage.

Roof Frame Type

The roof framing is constructed with truss framing.

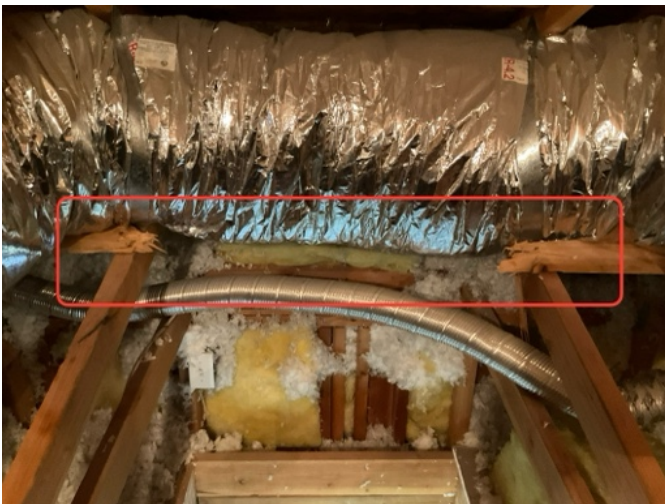
AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



3.4) Attic Conditions

R

2x4 was cut and damaged near entrance. One exhaust fan is slipping out and needs to be secured better to vent.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Attic Ventilation Type

Soffit vents & Gable Vents.

3.5) Attic Ventilation Conditions

AS

The ventilation in the attic appeared to be adequate.

Attic Insulation Type

Loose fill.

3.6) Attic Insulation Conditions

AS

Appears Serviceable.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Fascia & Eaves

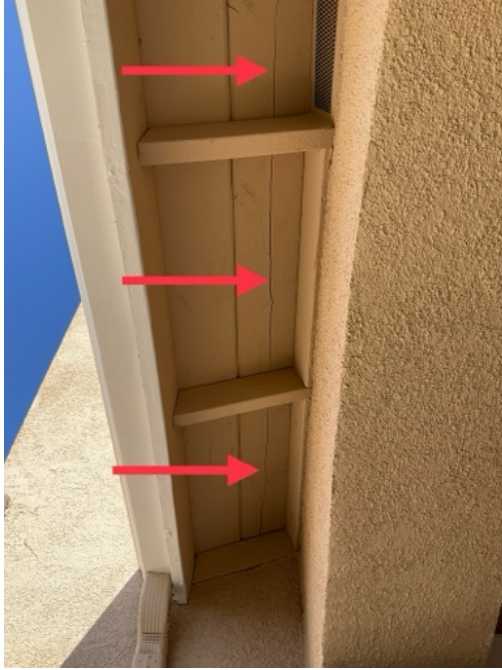
3.7) Conditions

R

Front of home had gaps in the fascia boards on the corners. Splits in eaves. Recommend repairs as needed. It is suggested that a "Licensed Roofing Contractor" be contacted for further evaluation and repair.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



4 Heating - Air

Heating

Location of Unit	Attic.
Heating Type	Forced Air.
Energy Source	Natural Gas.

4.1) Unit Conditions

AS

The heating system was operational at time of inspection. This is not an indication of future operation or condition.



Distribution Type

The visible areas of the heat distribution system is ductwork with registers.

4.2) Distribution Conditions

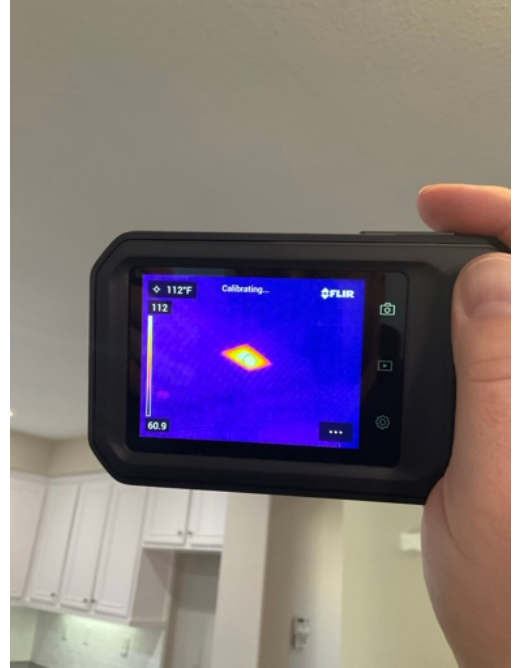
AS

The visible and accessible areas of the distribution system appeared to be in serviceable condition at the time of inspection.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



4.3) Ventilation Conditions

AS

The visible and accessible portion of the venting flue appeared to be in serviceable condition at the time of the inspection.

Air Condition - Cooling

Type of Cooling System

Forced air

4.4) AC Unit Conditions

R

The insulation on the refrigerant lines was missing or deteriorated. Recommend installing this rather inexpensive pipe insulation to improve efficiency. Pipe insulation is available at most hardware stores. Units are 20 years old and nearing the end of their lifespan.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



4.5) Distribution Conditions

AS

Appears Serviceable.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Return Filters

4.6) Conditions

AS

Appears Serviceable.

Thermostat

4.7) Conditions

AS

Appears Serviceable.

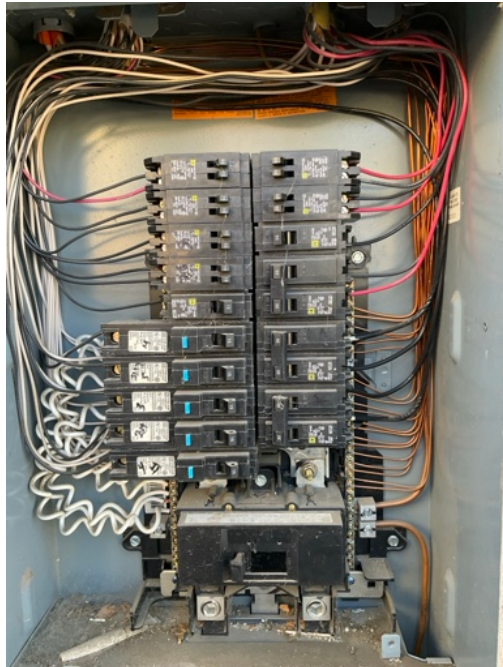
5 Electrical

Service Drop - Weatherhead

Electrical Service Type The electrical service is underground.
Electrical Service Material Copper.
Number of Conductors Two.

5.1) Electrical Service Conditions AS

The main service entry appeared to be in serviceable condition at the time of inspection.



Main Electrical Panel

Main Disconnect Location At Main Panel.
Electric Panel Location The main electric panel is located at the exterior.
Panel Amperage Rating The electrical capacity of main breaker was listed / labeled as 200 amps.
Circuit Protection Type Breakers.

5.2) Wiring Methods AS

Plastic insulated (romex) type wire is present.

5.3) Electrical Panel Conditions

AS

The main panel appeared to be in serviceable condition at the time of the inspection.



Exterior Electrical

5.4) Fixtures Conditions

AS

Appears Serviceable.

5.5) Outlets-Switches Conditions

AS

Appears Serviceable.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



6 Plumbing

Water Main Line

Main Shutoff Location

The main valve is located at the exterior of the home.

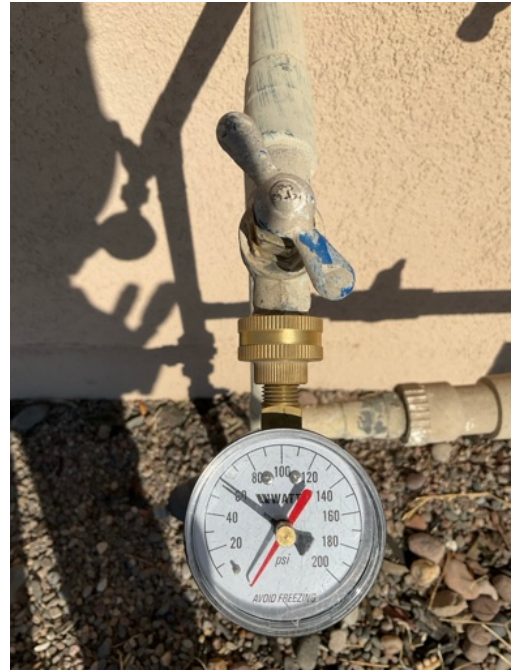
Main Line Material

The visible material of the main line / pipe appears to be copper.

6.1) Main Line & Valve Conditions

AS

The visible portion of the main pipe and valve appeared to be in serviceable condition at the time of the inspection.



Water Supply Lines

Supply Line Material

The visible material used for the supply lines is copper.

6.2) Supply Line Conditions

R

The visible portions of the supply lines had minor corrosion observed at the accessible areas.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Drain - Waste Lines

Drain Line Material

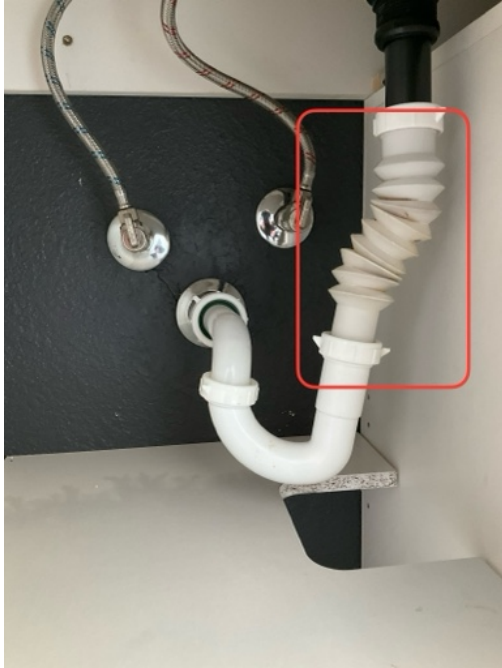
The visible portions of the waste lines are plastic.

6.3) Drain Line Conditions

R

Upstairs master bath had flex plumbing. Recommended replacing with proper plumbing.





Water Heater(s)

Water Heater Type Natural Gas.
Water Heater Location Garage.
Water Heater Capacity 50 Gallon.

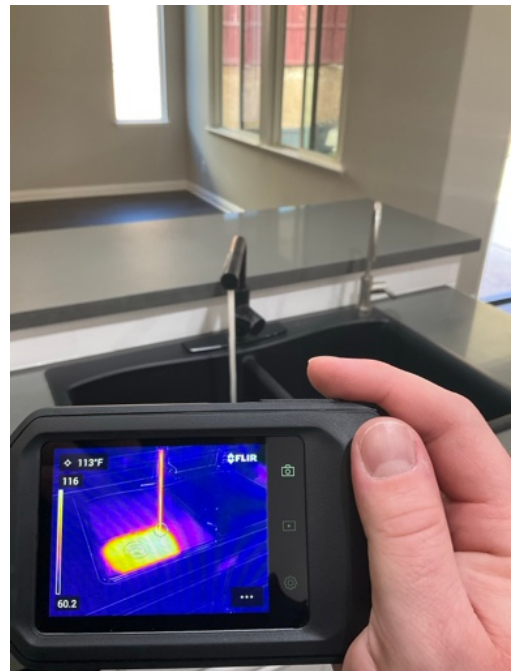
6.4) Water Heater Conditions R

Minor corrosion on water line. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



7 Living Room

Walls - Ceilings - Floors

7.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



7.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

7.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

7.4) HVAC Source Conditions

AS

Appears Serviceable.

Windows - Doors

7.5) Interior Window Conditions

R

2 windows has seals inside that coming out. It is suggested that a "Licensed window Contractor" be contacted for further evaluation and repair.



7.6) Interior Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions

7.7) Electrical Conditions

R

Open ground outlet near fire place. It is suggested that a "Licensed Electrical Contractor" be contacted for further evaluation and repair.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



7.8) Lighting Conditions

AS

Appears Serviceable.

7.9) Smoke Detector Conditions

AS

Appears Serviceable.

Fireplace

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

Fireplace Location

A fireplace is located at the living room.

Fireplace materials

The fireplace is metal/pre-fabricated.

7.10) Fireplace Conditions

S

Missing doors to fireplace and damper latch. It is suggested that a "Licensed chimney Contractor" be contacted for further evaluation and repair.



8 Kitchen

Walls - Ceilings - Floors

8.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



8.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

8.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

8.4) HVAC Source Conditions

AS

Appears Serviceable.

Windows - Doors

8.5) Kitchen Window Conditions

AS

Appears Serviceable.

8.6) Kitchen Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions

8.7) Electrical Conditions

R

Kitchen island was off.



8.8) Lighting Conditions

R

Light(s) were out or inoperative at underneath the cabinets . Dismantling and testing of all light fixtures is not performed as part of this inspection. Recommend all lights be operable prior to close.

Kitchen Sink - Counter tops - Cabinets

8.9) Counter Conditions

AS

The visible portion kitchen counters appeared to be in serviceable condition at the time of the inspection.

8.10) Cabinet Conditions

R

The cabinets were loose. Recommend securing or repair as needed for increased safety. One cabinet was stuck and would not operate.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



8.11) Sink Plumbing Conditions

S

Kitchen sink was leaking and water was running down the cords and Into the reciprocal underneath the sink. Unplugged dishwasher and garbage disposal. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.





8.12) Garbage Disposal Condition

NI

Not inspected due to power being off to the kitchen island.

Appliances

Stove - Range Type

The oven is gas.

8.13) Stove - Range Condition

NI

Not inspected due to being unplugged.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



8.14) Hood Fan Conditions

AS

Appears Serviceable.

8.15) Dishwasher Conditions

NI

Not inspected due to power being off at kitchen island. Dishwasher was not secured in place either.



9 Bedroom(s)

Walls - Ceilings - Floors

9.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



**9.2) Ceiling Conditions**

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

9.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

9.4) HVAC Source Conditions

AS

Appears Serviceable.

Windows - Doors**9.5) Interior Window Conditions**

S

Cracked glass pane(s) were observed at upstairs. Window mechanism is sticking out and doesn't function. Recommend repair as needed.



9.6) Interior Door Conditions

R

Upstairs bedroom door doesn't latch properly. It is suggested that a "Certified Handy Man" be contacted for further evaluation and repair.



Electrical Conditions

9.7) Electrical Conditions

AS

Appears Serviceable.





9.8) Lighting Conditions

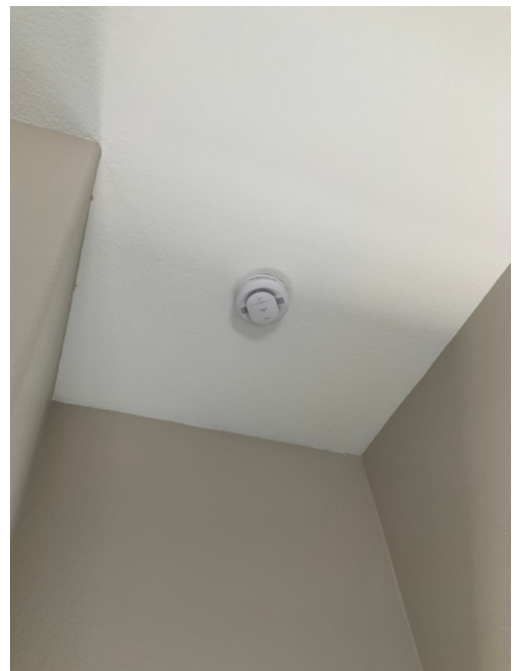
AS

Appears Serviceable.

9.9) Smoke Detector Conditions

AS

Appears Serviceable.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



Closets

9.10) Conditions

AS

Appears Serviceable.



AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



10 Bath(s)

Walls - Ceilings - Floors

10.1) Wall Conditions

AS

The general condition of the walls appeared to be in serviceable condition at the time of the inspection.



10.2) Ceiling Conditions

AS

The general condition of the ceilings appeared to be in serviceable condition at the time of the inspection.

10.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

10.4) HVAC Source Conditions

AS

Appears Serviceable.

Windows - Doors**10.5) Bathroom Window Conditions**

AS

Appears Serviceable.

10.6) Bathroom Door Conditions

AS

The interior doors appeared to be in serviceable condition at the time of the inspection.

Electrical Conditions**10.7) Electrical Conditions**

AS

Appears Serviceable.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



10.8) Lighting Conditions

AS

Appears Serviceable.

10.9) Vent Fan Conditions

AS

Appears Serviceable.

Bathroom Sink

10.10) Counter - Cabinet Conditions

AS

Appears Serviceable.

10.11) Sink Conditions

R

Downstairs restroom had a slow drain.

**Shower - Tub - Toilet****10.12) Shower - Tub Conditions**

R

Upstairs guest shower tub diverter was leaking and not functioning properly. Upstairs master stand up shower had a leak on the windows and should be sealed. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.



10.13) Toilet Conditions

R

Upstairs guest bathrooms toilet continuously runs. It is suggested that a "Licensed Plumbing Contractor" be contacted for further evaluation and repair.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



11 Garage - Laundry

Walls - Ceilings - Floors

Garage Type

The garage is attached to the house.

11.1) Wall Conditions

R

Suspicious growth near water heater.



11.2) Ceiling Conditions

R

Some of the drywall edge is coming off as well as a suspicious spot in between the garage doors on the ceiling.



11.3) Floor Conditions

AS

The general condition of the visible and accessible portions of the floors appeared to be in serviceable condition at the time of the inspection.

11.4) Door Conditions

AS

Appears Serviceable.

11.5) Vehicle Door Conditions

R

No motor for single garage door.

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected



11.6) Electrical Conditions

AS

Appears Serviceable.



11.7) Lighting Conditions

AS

Appears Serviceable.

Laundry Room

AS = Appears Serviceable | R = Repair | S = Safety | NI = Not Inspected

Location

Off garage entrance

11.8) Laundry Room Conditions

AS

There were no appliances present for proper testing of plumbing components.



12 Foundation - Crawl Space

Foundation

Foundation Type Slab on grade.

Foundation Material Concrete.

12.1) Foundation Conditions

AS

Appears Serviceable.

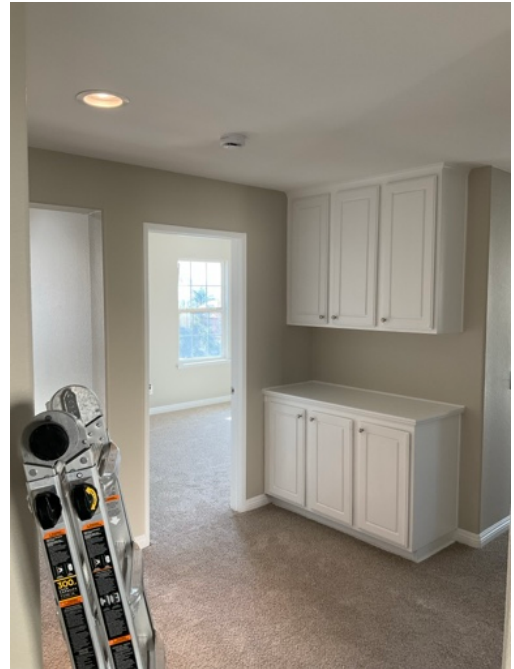
13 Hallway

Hallway Conditions

13.1) Conditions

AS

Appears Serviceable.



14 Stairs

Stairs - Handrails

14.1) Conditions

Appears Serviceable.

